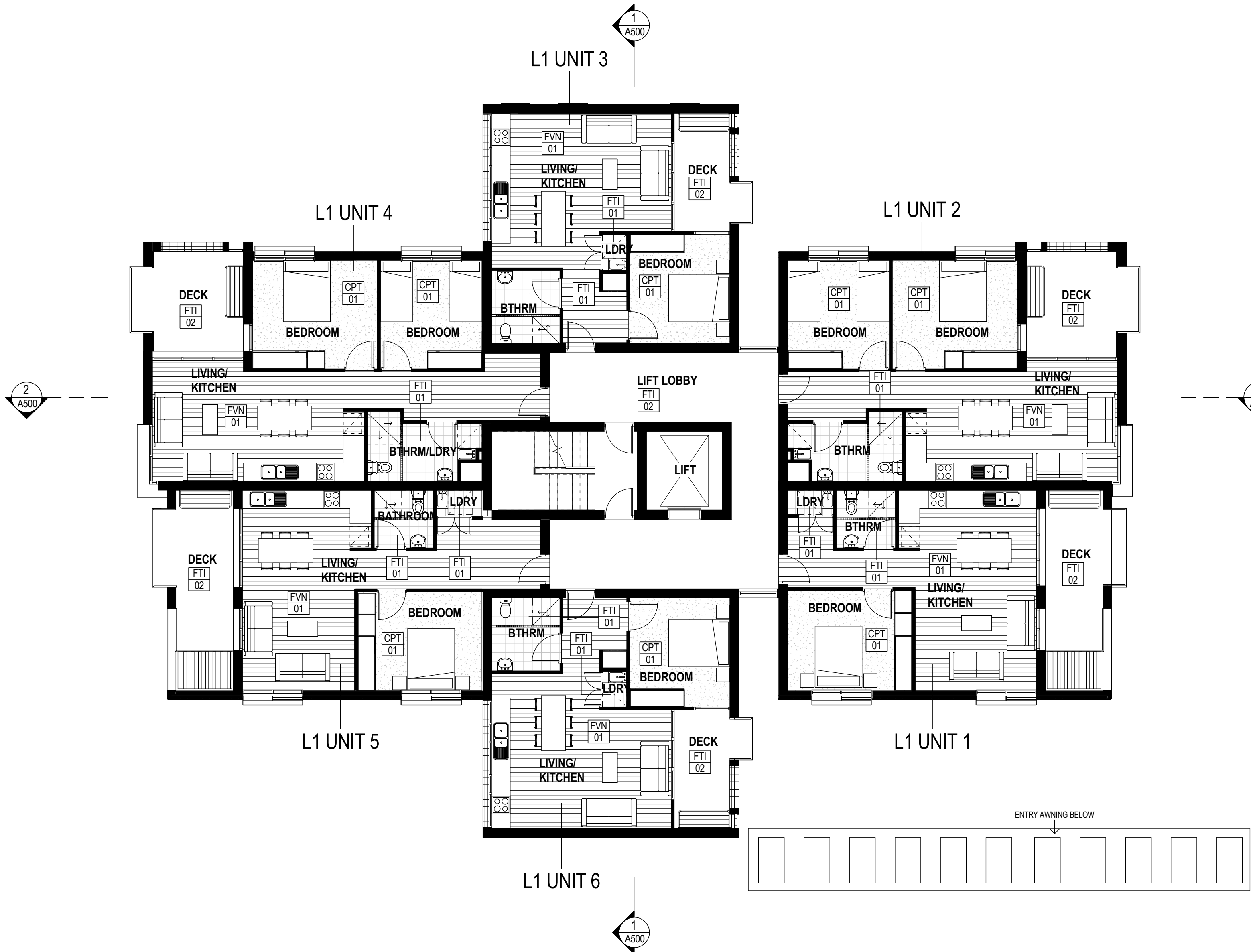


OVERALL	32410	OVERALL
MASSINGS	11195 8440 1310 11465	MASSINGS
OPENINGS	581 2039 182 853 2000 750 8440 1265 45 975 2000 2835 2000 853 182 2020 600	OPENINGS
INTERALS	330 2965 300 4115 110 3340 330 2240 100 3565 100 1835 300 1310 300 3340 110 4120 300 2995 300	INTERALS

OVERALL	24180	OVERALL
MASSING	4550 406 352 4550	MASSING
OPENINGS	8180 2150 5953 3200 2900 317	OPENINGS
INTERALS	100 280 100 3200 3500 100 250 100 1900 100 250 100 1500 283 1150238 283 300 300	INTERALS



OVERALL	24180	OVERALL
MASSING	4550 406 352 4550	MASSING
OPENINGS	8180 2150 5953 3200 2900 317	OPENINGS
INTERALS	100 280 100 3200 3500 100 250 100 1900 100 250 100 1500 283 1150238 283 300 300	INTERALS

OVERALL	32410	OVERALL
MASSINGS	11195 8440 1310 11465	MASSINGS
OPENINGS	581 2039 182 853 2000 750 8440 1265 45 975 2000 2835 2000 853 182 2020 600	OPENINGS
INTERALS	330 2965 300 4115 110 3340 330 2240 100 3565 100 1835 300 1310 300 3340 110 4120 300 2995 300	INTERALS

1 200\_LEVEL 1 FLOOR PLAN  
A400 1: 100

MATERIAL	DESCRIPTION	LEGEND
PT 01	ABBREVIATION P FOR PAINT CODE	FTI 02 FLOOR TILES -TYPE 2
FCP 01	FLOOR CARPET -TYPE 1	WBR 02 WALL BRICKWORK -TYPE 2
FTI 01	FLOOR TILES -TYPE 1	WFC 01 WALL FC SHEETING -TYPE 1
		WBR 01 WALL BRICKWORK -TYPE 1
		WMT 01 WALL METAL -TYPE 1
		PAV 01 PAVING -TYPE 1
		RM 01 ROOF METAL -TYPE 1
		RM 02 ROOF METAL -TYPE 2
		CMF COLORBOND METAL FLASHING
		DP DOWN PIPE
		EG EAVE + GUTTER
		FBW FACE BRICKWORK
		FG FIXED GLASS
		HWU HOT WATER UNIT
		MRS METAL ROOF SHEETING
		MWS METAL WALL CLADDING
		PB PLASTERBOARD (IMPACTED)
		PCP PREFINISHED COMPOSITE PANEL
		PMC PREFINISHED METAL CAPPING
		PRS POLYCARBONATE ROOF SHEETING
		RO ROOF OVER
		RW RETAINING WALL
		ST SOLAR TUBE
		TSF TIMBER-SCREENED FENCE
		WT RAIN WATER TANK

Notes

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Verify all dimensions and levels on site and report any discrepancies to designers for direction prior to the commencement of work.

Drawings are to be read in conjunction with all other contract documents.

Use Imperial dimensions only. Do not scale from drawings. Designers cannot guarantee the accuracy of content and format for scale of drawings issued electronically.

The completion of the issue Check and Authorised section is confirmation of the status of the drawing.

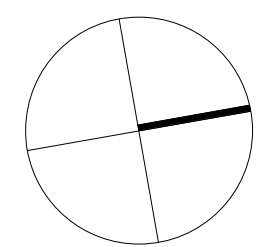
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Issue	Description	Date	Chk	Auth
E	ISSUE FOR DA LODGEMENT	31.07.15	JR	CB
D	PRELIMINARY ISSUE FOR DA	20.04.15	JR	CB
C	ISSUE FOR PRE-DA REVIEW	10.03.15	AA	JR
B	ISSUE FOR INFORMATION	23.02.15	JR	CB
A	SK COORDINATION	18.11.14	JR	JR

Consultants	Project
PROJECT MANAGER LAND & HOUSING CORPORATION PRJ201501001 STRUCTURAL & CIVIL ENGINEER LINDSAY DYMAN PRJ201501001 ELECTRICAL ENGINEER ELECTRICAL PROJECTS AUSTRALIA PTY PRJ201501001 MECHANICAL & FIRE ENGINEER MCCALLUM PFCA PRJ201501001	LIVERPOOL GHR - BGGMV Location 188-190 MOORE STREET LIVERPOOL NSW

File Name C:\dwp\liverpool\REVIT locals\2014\0202946_MOORE ST LIVERPOOL_CENTRAL_02_CARPARK_R2014_cbarowski.rvt	Project No. 202946	Drawing Number A263	Rev E
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**Energy Rating**
Certificate Number 14431205

☐ single-dwelling rating
 ☒ multi-unit development (attach listing of ratings)
 heating \_\_\_\_\_ MJ/m²
 cooling \_\_\_\_\_ MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number David Seddon VIC/BDV/12/1443  
Assessor Signature Date 05Feb15

**Family & Community Services**  
 Land & Housing Corporation  
 South East Region

LOCKED BAG 4009  
 ASHFIELD NSW BC1800  
 PHONE No (02) 8753 9000  
 www.facs.nsw.gov.au

Architect  
 dwpAustralia  
 www.dwpAustralia.com

Project  
 LIVERPOOL GHR - BGGMV  
 Location  
 188-190 MOORE STREET  
 LIVERPOOL NSW

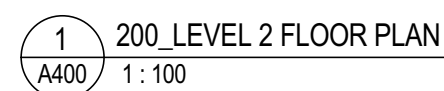
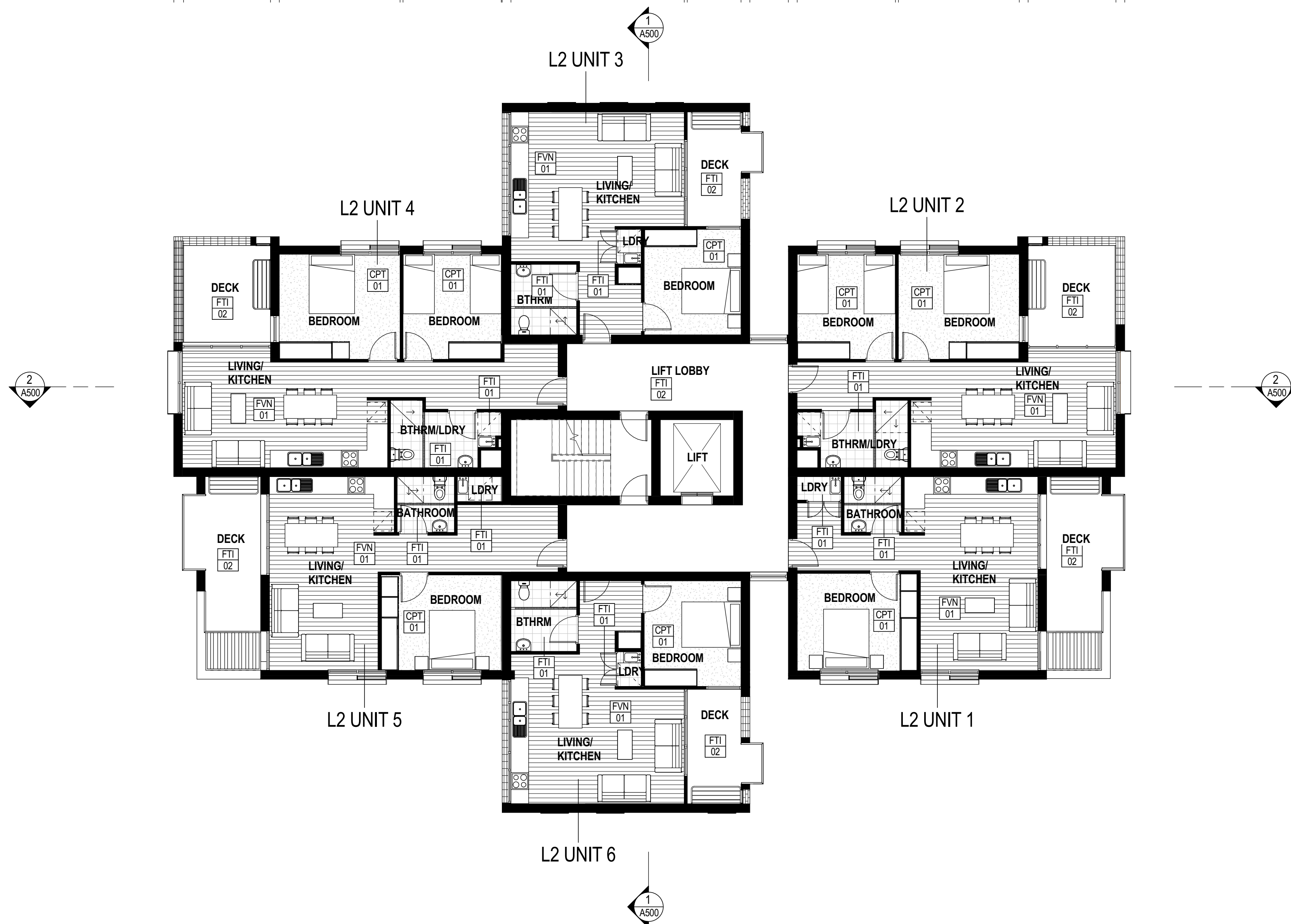
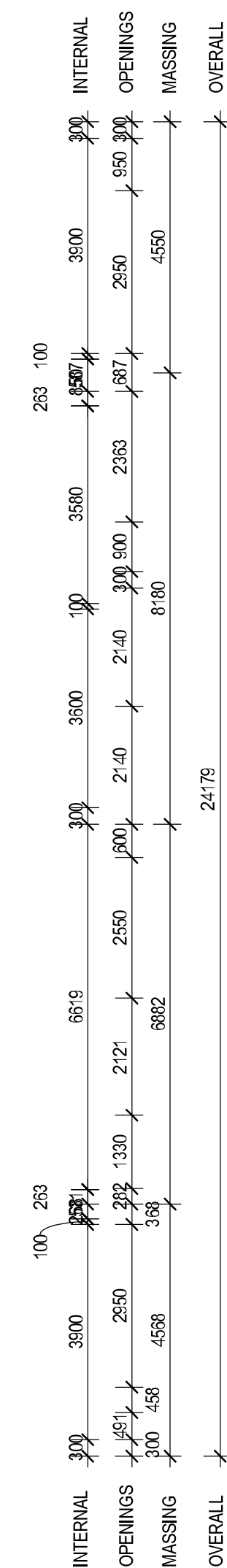
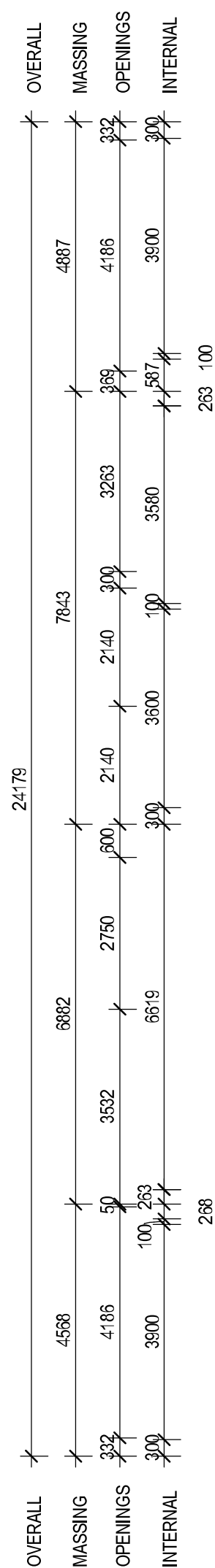
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**DIMENSION PLAN - LEVEL 1**

Project  
 LIVERPOOL GHR - BGGMV  
 Location  
 188-190 MOORE STREET  
 LIVERPOOL NSW

Drawing  
**DIMENSION PLAN - LEVEL 1**

PRELIMINARY  
 NOT FOR USE DURING CONSTRUCTION  
 Date Printed 31/07/2015 3:45:26 PM  
 Scale 1:100 @ A1  
 Project No. BGGMV  
 Stage TD  
 Drawn CB/JAC  
 Checked JR  
 Drawing Number 202946  
 Rev E





LEGEND

	DP	DOWN PIPE	PCP	PREFINISHED COMPOSITE PANEL
	EG	EAVE + GUTTER	PMC	PREFINISHED METAL CAPPING
	FB	FACE BRICKWORK	PRS	POLYCARBONATE ROOF SHEETING
	FG	FIXED GLASS	RO	ROOF OVER
MENT	HWU	HOT WATER UNIT	RW	RETAINING WALL
	MRS	METAL ROOF SHEETING	ST	SOLAR TUBE
	MWS	METAL WALL CLADDING	TSF	TIMBER-SCREENED FENCE
SHING	PB	PLASTERBOARD (IMPACTED)	WT	RAIN WATER TANK

C	ISSUE FOR DA LODGEMENT	31.07.15	JR	CB
B	PRELIMINARY ISSUE FOR DA	20.04.15	JR	CB
A	ISSUE FOR PRE-DA REVIEW	10.03.15	AA	JR
Issue	Description	Date	Chk	Auth

**Consultants**

**PROJECT MANAGER**  
**LAND & HOUSING CORPORATION**  
PH (02) 8753 8000

**STRUCTURAL & CIVIL ENGINEER**  
**LINDSAY DYNAN**  
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**ELECTRICAL ENGINEER**  
**ELECTRICAL PROJECTS AUSTRALIA PTY**  
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**HYDRAULIC & FIRE ENGINEER**  
**MCCALLUM PFCA**  
PH (02) 4646 2623

**BASIX CONSULTANT**  
**SOLAR SMART**  
PH (32) 4972 1647

**BCA CONSULTANT**  
**NEWCERT**  
PH (32) 4944 2031

**LANDSCAPING**  
**OCTOPUS GARDEN**  
PH (06) 1917 0090

**SURVEY**  
**BURTON & FIELD PTY. LTD**  
PH (32) 9419 8222

Project	LIVERPOOL GHR - BGGMV	
Location	188-190 MOORE STREET	LIVERPOOL NSW

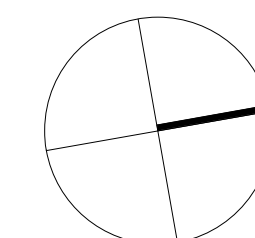
Drawing

**DIMENSION PLAN - LEVEL 2**

File Name

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Stage TD	Drawn CB / AC	Checked JR	
dwp/suters Project No. 202946	Drawing Number A264	Rev C	



 **Energy Rating** Certificate Number 14431205

☐ single-dwelling rating \_\_\_\_\_ stars

☒ multi-unit development (attach listing of ratings) heating \_\_\_\_\_ MJ/m<sup>2</sup>  
*If selected, data specified is the average across the entire development* cooling \_\_\_\_\_ MJ/m<sup>2</sup>

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number David Seddon VIC/BD/AV/12/1443

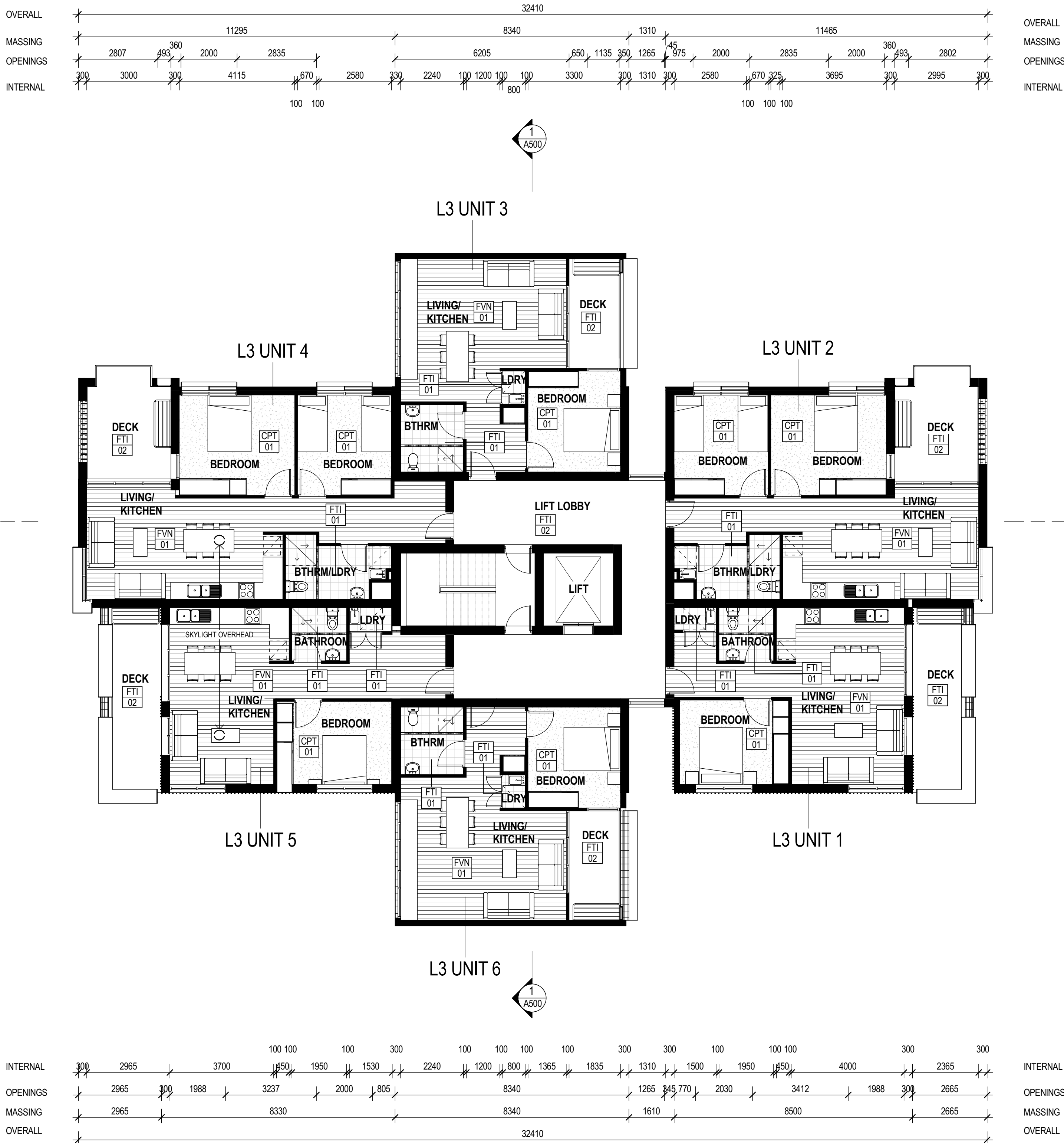
Assessor Signature [Signature] Date 05 Feb 15



MATERIAL	DESCRIPTION
PT 01	ABBREVIATION 'P' FOR PAINT CODE
FCP 01	FLOOR CARPET -TYPE 1
FTI 01	FLOOR TILES -TYPE 1
FTI 02	FLOOR TILES -TYPE 2
FVN 01	FLOOR VINYL -TYPE 1
WBR 01	WALL BRICKWORK -TYPE 1
WBR 02	WALL BRICKWORK -TYPE 2
WFC 01	WALL FC SHEETING -TYPE 1
WMT 01	WALL METAL -TYPE 1
RMET 01	ROOF METAL -TYPE 1
RMET 02	ROOF METAL -TYPE 2
PAV 01	PAVING -TYPE 1

LEGEND					
AH	AWNING HUNG WINDOW	DP	DOWN PIPE	PCP	PREFINISHED COMPOSITE PANEL
AW	SUN SHADING AWNING	EG	EAVE + GUTTER	PMC	PREFINISHED METAL CAPPING
BW	BRICK FENCE	FBW	FACE BRICKWORK	PRS	POLYCARBONATE ROOF SHEETING
BW	BRICK WALL	FG	FIXED GLASS	RO	ROOF OVER
CFC	COMPRESSED FIBRE CEMENT	HWU	HOT WATER UNIT	RW	RETAINING WALL
CJ	CONSTRUCTION JOINT	MRS	METAL ROOF SHEETING	ST	SOLAR TUBE
CL	CLOTHES LINE	MWNS	METAL WALL CLADDING	TSF	TIMBER SCREENED FENCE
CMF	COLORBOND METAL FLASHING	PB	PLASTERBOARD (IMPACTED)	WT	RAIN WATER TANK

200\_LEVEL 3 FLOOR PLAN  
1:100



**Energy Rating** Certificate Number 14431205

☐ single-dwelling rating

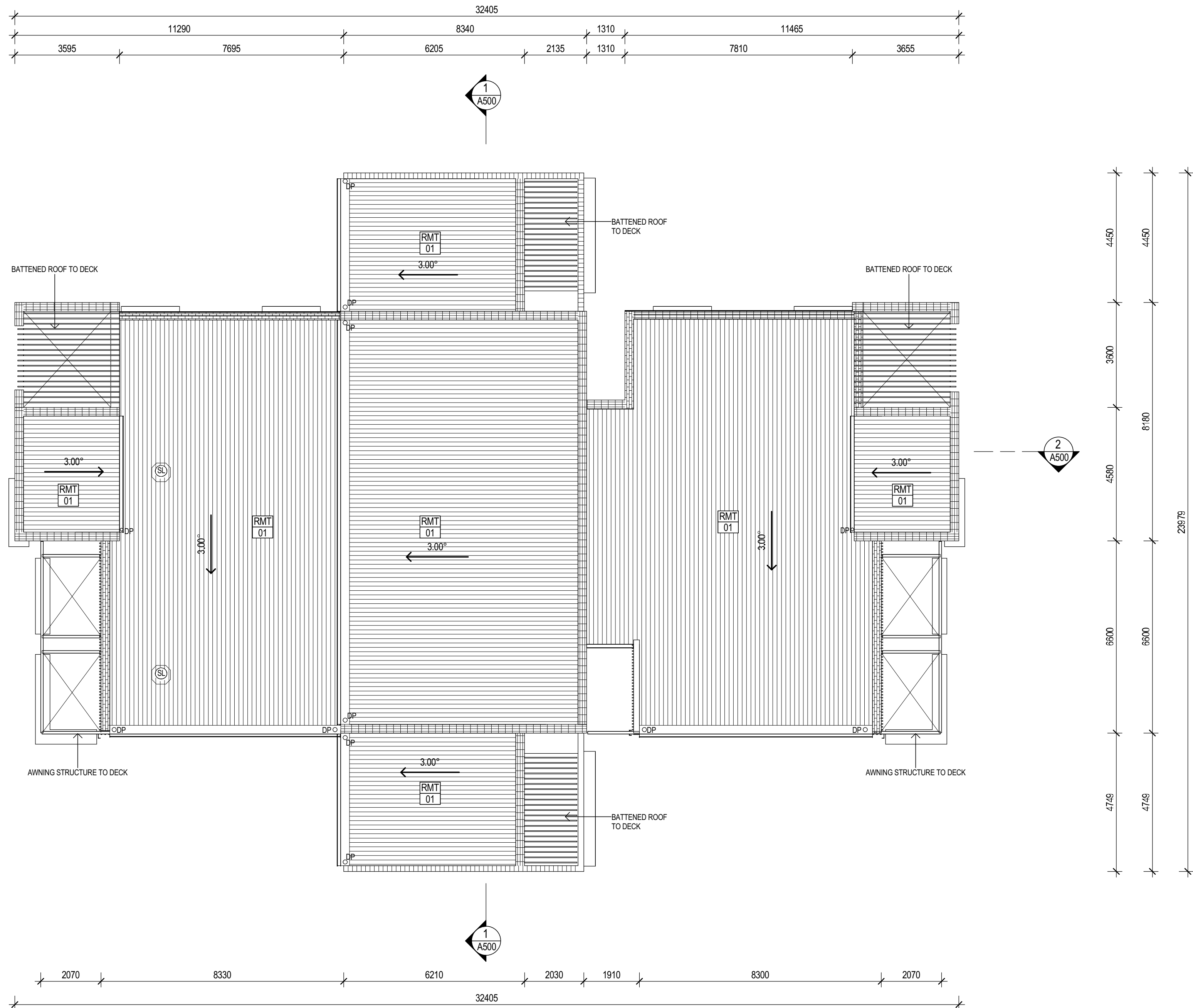
☒ multi-unit development (attach listing of ratings)

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number David Seddon VIC/BD/AV/12/1443

Assessor Signature Date 05 Feb 15





200 ROOF PLAN  
1 : 100

ABBREVIATIONS LEGEND

AS	ADJUSTABLE SHELVING
AW	SUN SHADING AWNING
B	BASIN
BC	BARGE CAPPING
BH	BULKHEAD
BF	BRICK FENCE
BG	BOX GUTTER
BS	BIN STORE
CF	COLORBOND FENCE
CJ	CONSTRUCTION JOINT
CL	CLOTHES LINE
CR	CLOTHES RAIL
CMF	COLORBOND METAL FLASHING
D	DROPPER
DP	DOWN PIPE
DR	DRAWER - SOFT CLOSE
EDB	ELECTRICAL DISTRIBUTION BOARD
EG	EAVES GUTTER
FG	FIXED GLASS
FS	FIXED SHELVING
FW	FLOOR WASTE
GD	GRATE DRAIN
HK	ROBE HOOK
HR	HAND RAIL
HWU	HOT WATER UNIT
LT	LAUNDRY TUB
LV	VENTILATION LOUVRE
MW	MICROWAVE
PB	PLANTER BED
PCAB	POWDERCOATED ALUMINIUM BATTENS
PMC	PREFINISHED METAL CAPPING
PNT	PANTRY
RC	RIDGE CAPPING
REF	FRIDGE
RH	RANGEHOOD
RO	ROOF OVER
RW	RETAINING WALL
RWO	RAIN WATER OVERFLOW
RWT	RAIN WATER TANK
S	SINK
SH	SOAP HOLDER
SHR	SHOWER
SL	SKYLIGHT
SFR	COLORBOND SPREADER
SR	SHOWER ROSE
ST	STOVE
TH	TAP HANDLE
TR	TOWEL RAIL
TRH	TOILET ROLL HOLDER
V	VANITY
VG	VALLEY GUTTER
WBC	WALL BRICK CAPPING
WO	WALL OVEN
WR	WARDROBE

NOTES

REFER TO CIVIL, HYDRAULIC, ELETRICAL  
DOCUMENTATION FOR CONNECTION OF UTILITIES  
AND SERVICES.

THE SIZING AND SPACING OF DOWNPIPES IS TO  
BE IN ACCORDANCE WITH AS 3500.3 (AUSTRALIAN  
STANDARDS FOR STORMWATER INSTALLATIONS).

MATERIAL	DESCRIPTION
PT 01	ABBREVIATION 'P' FOR PAINT CODE
FCP 01	FLOOR CARPET -TYPE 1
FTI 01	FLOOR TILES -TYPE 1
FTI 02	FLOOR TILES -TYPE 2
FVN 01	FLOOR VINYL -TYPE 1
WBR 01	WALL BRICKWORK -TYPE 1
WBR 02	WALL BRICKWORK -TYPE 2
WFC 01	WALL FC SHEETING -TYPE 1
WMT 01	WALL METAL -TYPE 1
RMT 01	ROOF METAL -TYPE 1
RMT 02	ROOF METAL -TYPE 2
PAV 01	PAVING - TYPE 1

LEGEND

AH	AWNING HUNG WINDOW	DP	DOWN PIPE	PCP	PREFINISHED COMPOSITE PANEL
AW	SUN SHADING AWNING	EG	EAVE + GUTTER	PMC	PREFINISHED METAL CAPPING
BF	BRICK FENCE	FBW	FACE BRICKWORK	PRS	POLYCARBONATE ROOF SHEETING
BW	BRICK WALL	FG	FIXED GLASS	RO	ROOF OVER
CFC	COMPRESSED FIBRE CEMENT	HWU	HOT WATER UNIT	RW	RETAINING WALL
CJ	CONSTRUCTION JOINT	MRS	METAL ROOF SHEETING	ST	SOLAR TUBE
CL	CLOTHES LINE	MWS	METAL WALL CLADDING	TSF	TIMBER SCREENED FENCE
CMF	COLORBOND METAL FLASHING	PB	PLASTERBOARD (IMPACTED)	WT	RAIN WATER TANK

Client

**NSW GOVERNMENT**

**Family & Community Services**

**Land & Housing Corporation**

South East Region

LOCKED BAG 4009  
ASHFIELD NSW BC1800  
PHONE No (02) 8753 9000

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Issue	Description	Date	Chk	Auth
D	ISSUE FOR DA LODGEMENT	31.07.15	JR	CB
C	PRELIMINARY ISSUE FOR DA	20.04.15	JR	CB
B	ISSUE FOR PRE-DA REVIEW	10.03.15	AA	JR
A	SK COORDINATION	18.11.14	JR	JR

Consultants	Project
PROJECT MANAGER LAND & HOUSING CORPORATION PRJ201501001 STRUCTURAL & CIVIL ENGINEER LINDSAY DYMAN PRJ201501001 ELECTRICAL ENGINEER ELECTRICAL PROJECTS AUSTRALIA PTY PRJ201501001 HYDRAULIC & FIRE ENGINEER McCALLUM PFCA PRJ201501001	BARNS CONSULTANT SOLAR SMART PRJ201501001 BCA CONSULTANT NEWCERT PRJ201501001 LANDSCAPING OCTOPUS GARDEN PRJ201501001 SURVEY BURTON & FIELD PTY. LTD. PRJ201501001

Project	Location
LIVERPOOL GHR - BGGMV	188-190 MOORE STREET LIVERPOOL NSW

Drawing

**ROOF PLAN**

File Name  
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LIVERPOOL\_CENTRAL\_02\_CARPARK\_R2014\_cbarowski.rvt

PRELIMINARY

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Date Printed  
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Scale  
1:100 @ A1

Project No  
BGGMV

Stage  
TD

Drawn  
CB/JAC

Checked  
JR

Rev

dwp|suters Project No  
202946

Drawing Number  
A280

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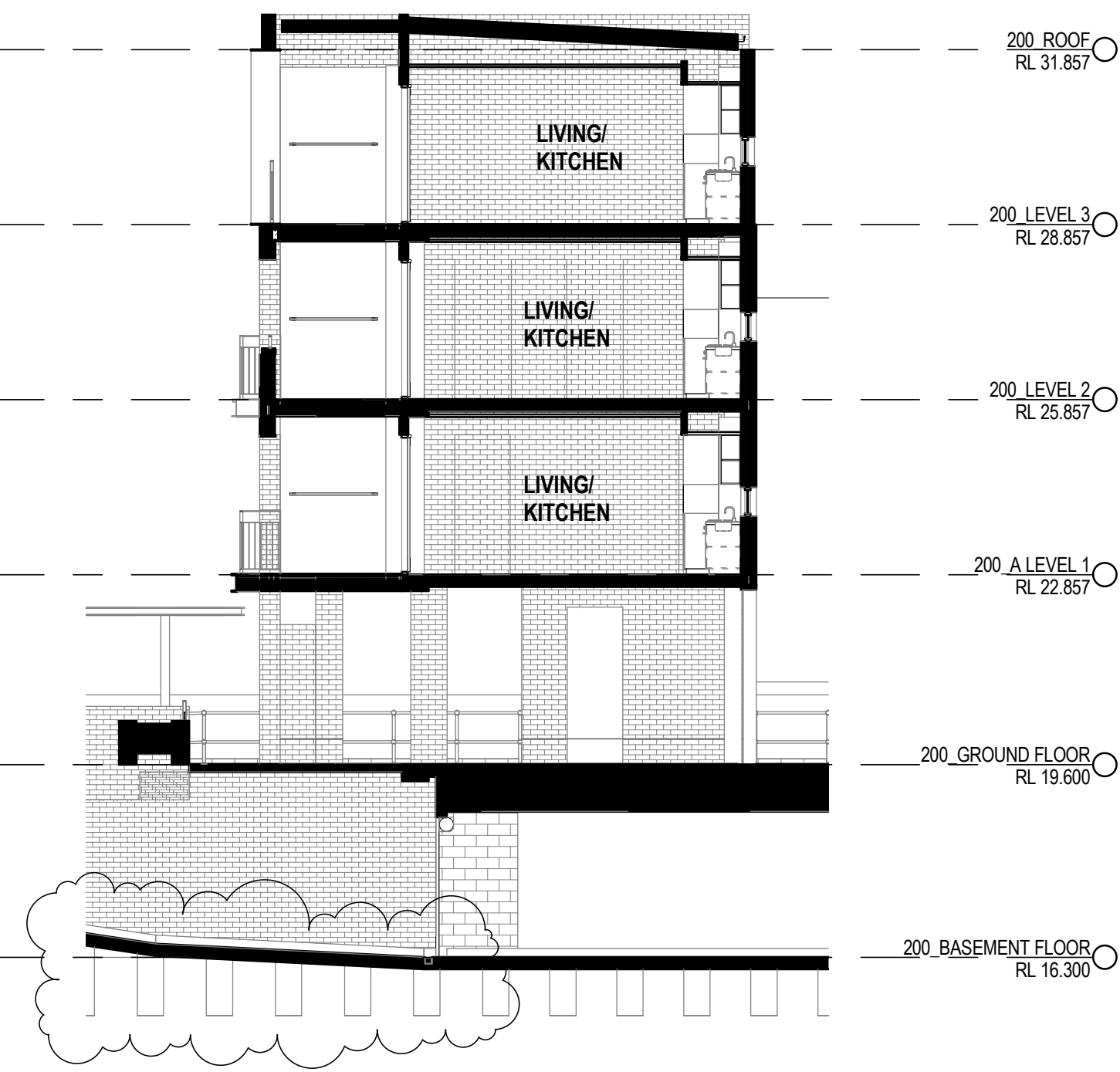
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FTI 01	FLOOR TILES -TYPE 1
FTI 02	FLOOR TILES -TYPE 2
FVN 01	FLOOR VINYL -TYPE 1
PAV 01	PAVING - TYPE 1
PCA 01	POWDER-COATED ALUMINIUM - TYPE 1
PT 01	ABBREVIATION 'P' FOR PAINT CODE
WBR 01	WALL BRICKWORK -TYPE 1
WBR 02	WALL BRICKWORK -TYPE 2
WFC 01	WALL FC SHEETING -TYPE 1
WMT 01	WALL METAL -TYPE 1
RMT 01	ROOF METAL -TYPE 1
RMT 02	ROOF METAL -TYPE 2



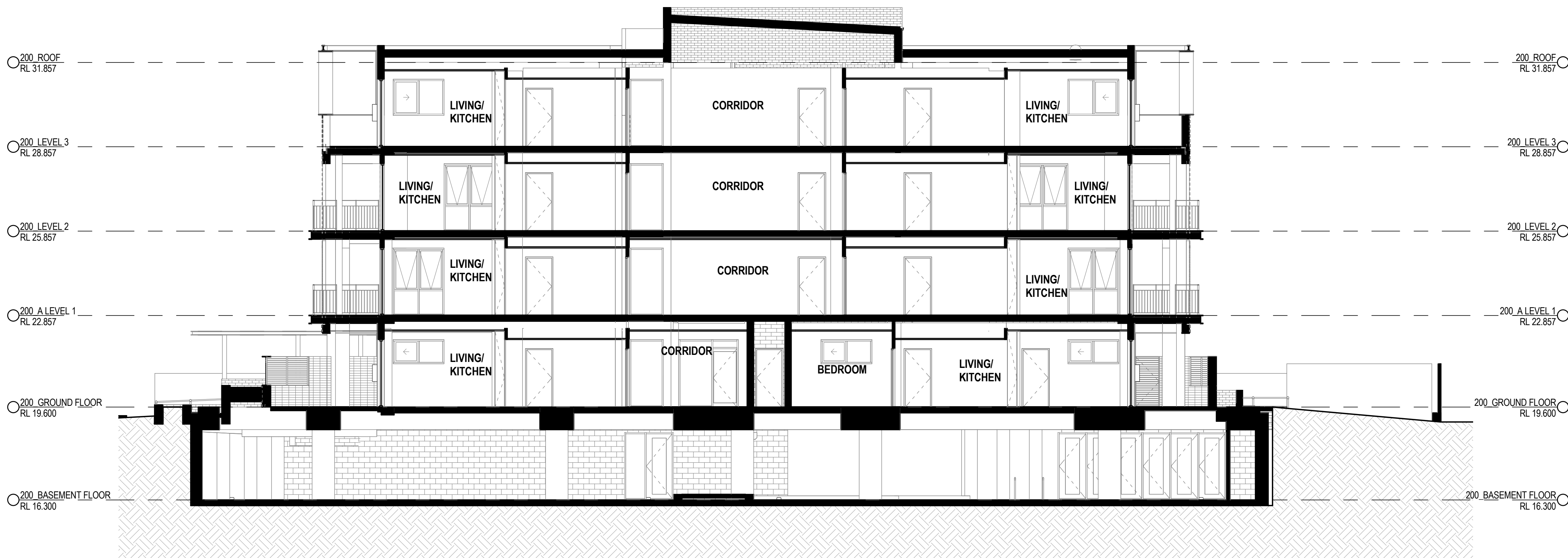






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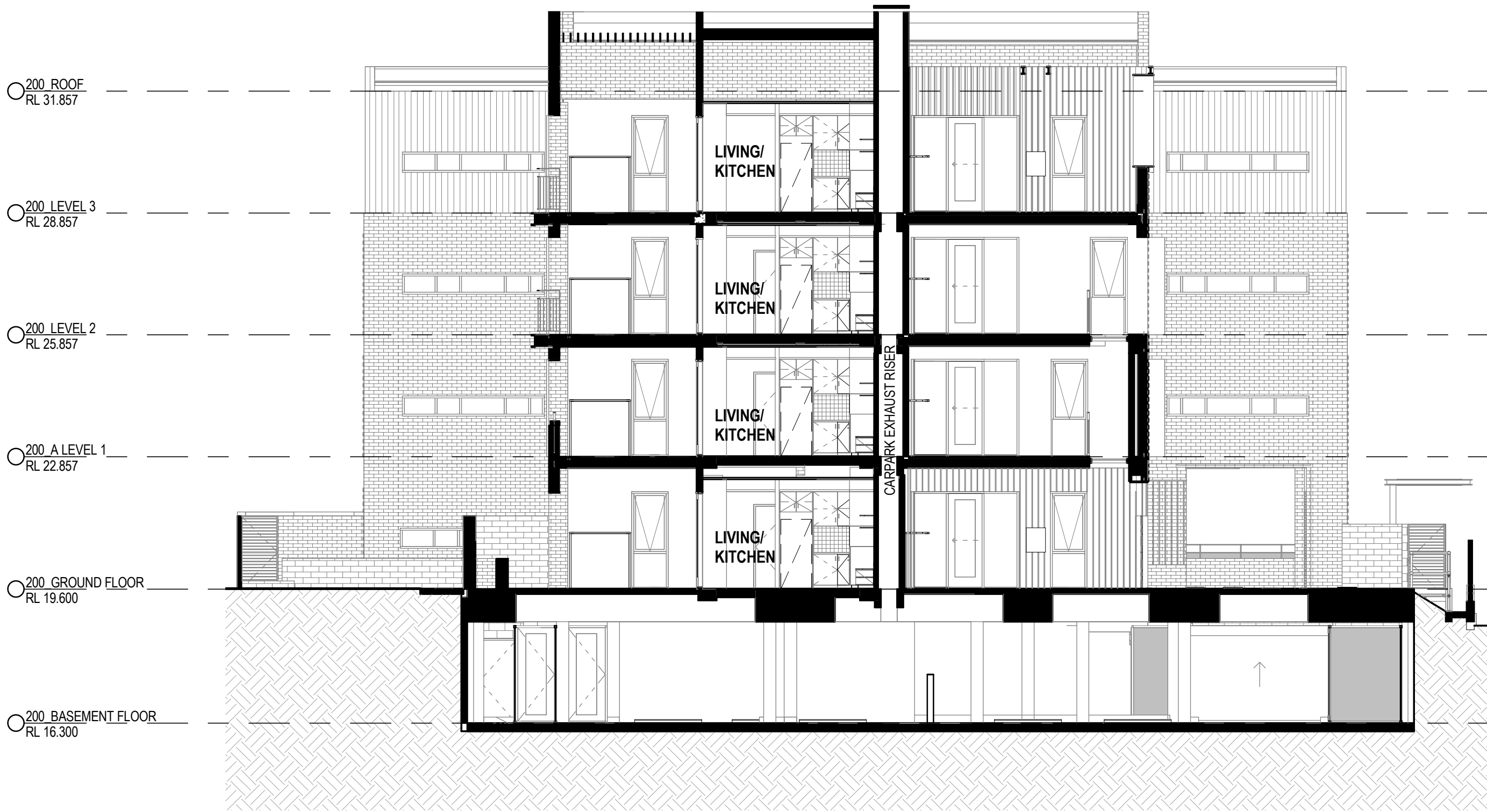
3 A501\_BUILDING SECTION\_3  
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2 A501\_BUILDING SECTION\_2  
A100 1:100

<div><div><div><div>Family &amp; Community Services</div><div>Land &amp; Housing Corporation</div><div>South East Region</div></div></div><div><div>LOCKED BAG 4009</div><div>ASHFIELD NSW BC1800</div><div>PHONE No (02) 8753 9000</div><div>www.facs.nsw.gov.au</div></div></div>		<div>Architect</div> <div><div></div><div><div>dwp suters</div><div>www.dwpsuters.com</div></div></div>		<div>Notes</div> <div><div>The information contained in this document is copyright and may not be used or reproduced for any other project or purpose.</div><div>Verify all dimensions and levels on site and report any discrepancies to designers for direction prior to the commencement of work.</div><div>Drawings are to be read in conjunction with all other contract documents.</div><div>Use Imperial dimensions only. Do not scale from drawings. Designers cannot guarantee the accuracy of content and format for copies of drawings issued electronically.</div><div>The completion of the Issue Details Checklist and Authorised section is confirmation of the status of the drawing.</div><div>The drawing shall not be used for construction unless endorsed 'For Construction' and authorised for issue.</div><div>© dwp Australia Pty Ltd Registered Business Name dwpsuters ABN 37 169 328 018 Robert Macindoe Nominated Architect NSW ARB 4659</div></div>		<div>Consultants</div> <div><div>PROJECT MANAGER LAND &amp; HOUSING CORPORATION PRJ2023030001 STRUCTURAL &amp; CIVIL ENGINEER LINSAY DYNAN PRJ2023030001 ELECTRICAL ENGINEER ELECTRICAL PROJECTS AUSTRALIA PTY PRJ2023030001 HYDRAULIC &amp; FIRE ENGINEER MCCALLUM PFCA PRJ2023030001</div><div><div>RASH CONSULTANT SOLAR SMART PRJ2023030001 BCA CONSULTANT NEWCERT PRJ2023030001 LANDSCAPE OCTOPUS GARDEN PRJ2023030001 SURVEY BURTON &amp; FIELD PTY. LTD. PRJ2023030001</div></div></div>		<div>Project</div> <div><div>LIVERPOOL GHR - BGGMV</div><div>Location</div><div>188-190 MOORE STREET LIVERPOOL NSW</div></div>		<div>Drawing</div> <div><div><b>BUILDING SECTIONS</b></div><div>File Name C:\dwp\suters\REVIT\locals\2016\202946_MOORE_ST_LIVERPOOL_CENTRAL_R2016_charkowski.rvt</div></div>		<div><b>PRELIMINARY</b></div> <div><div>NOT FOR USE DURING CONSTRUCTION</div><div><div>Date Printed 29/06/2016 5:16:31 PM</div><div>Scale 1:100 @ A1</div><div>Project No BGGMV</div></div><div><div>Stage TD</div><div>Drawn CB/JAC</div><div>Checked JR</div><div>Rev</div></div><div><div>dwp\suters Project No. 202946</div><div>Drawing Number A501</div><div>Rev B</div></div></div>
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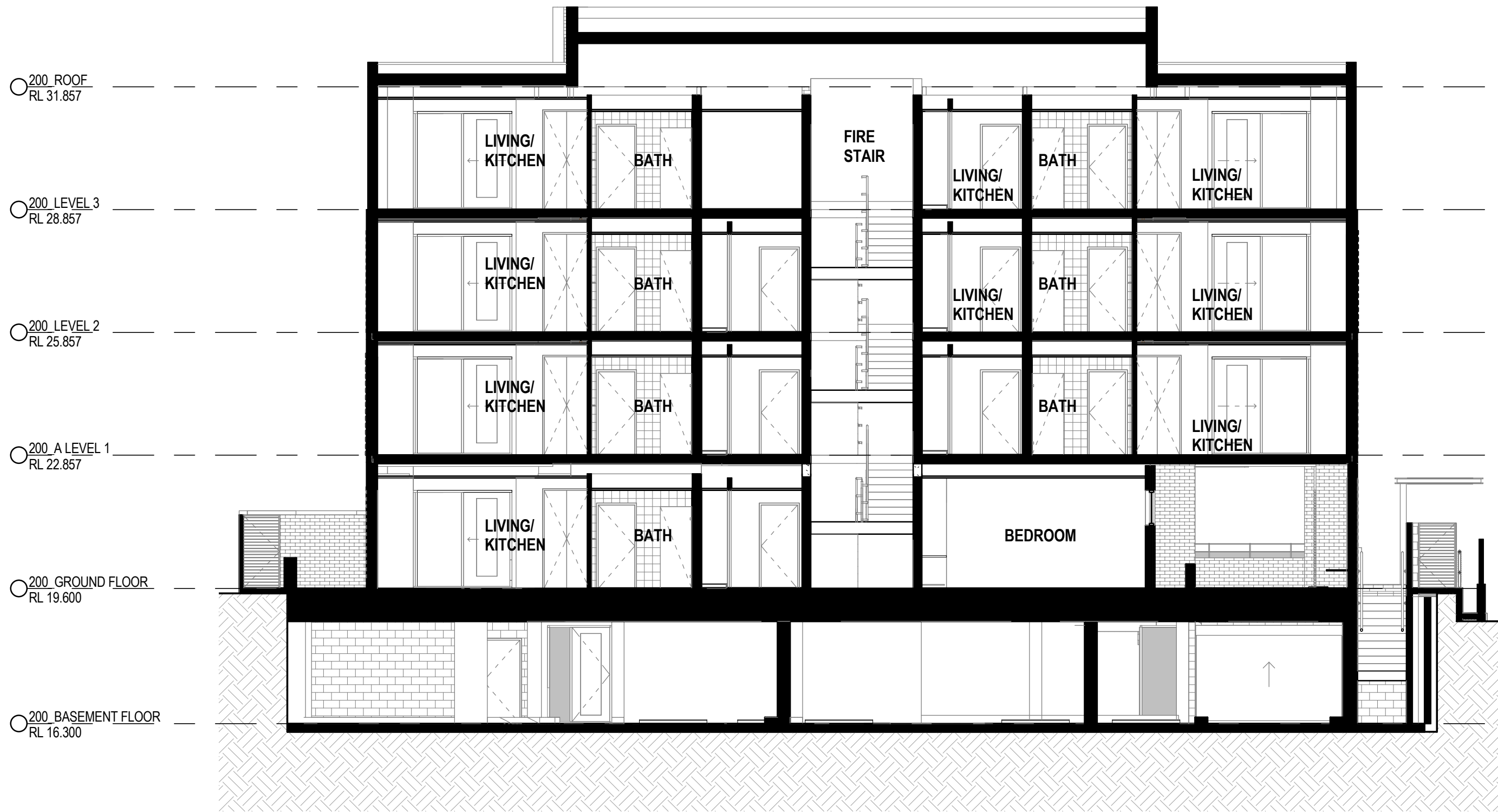






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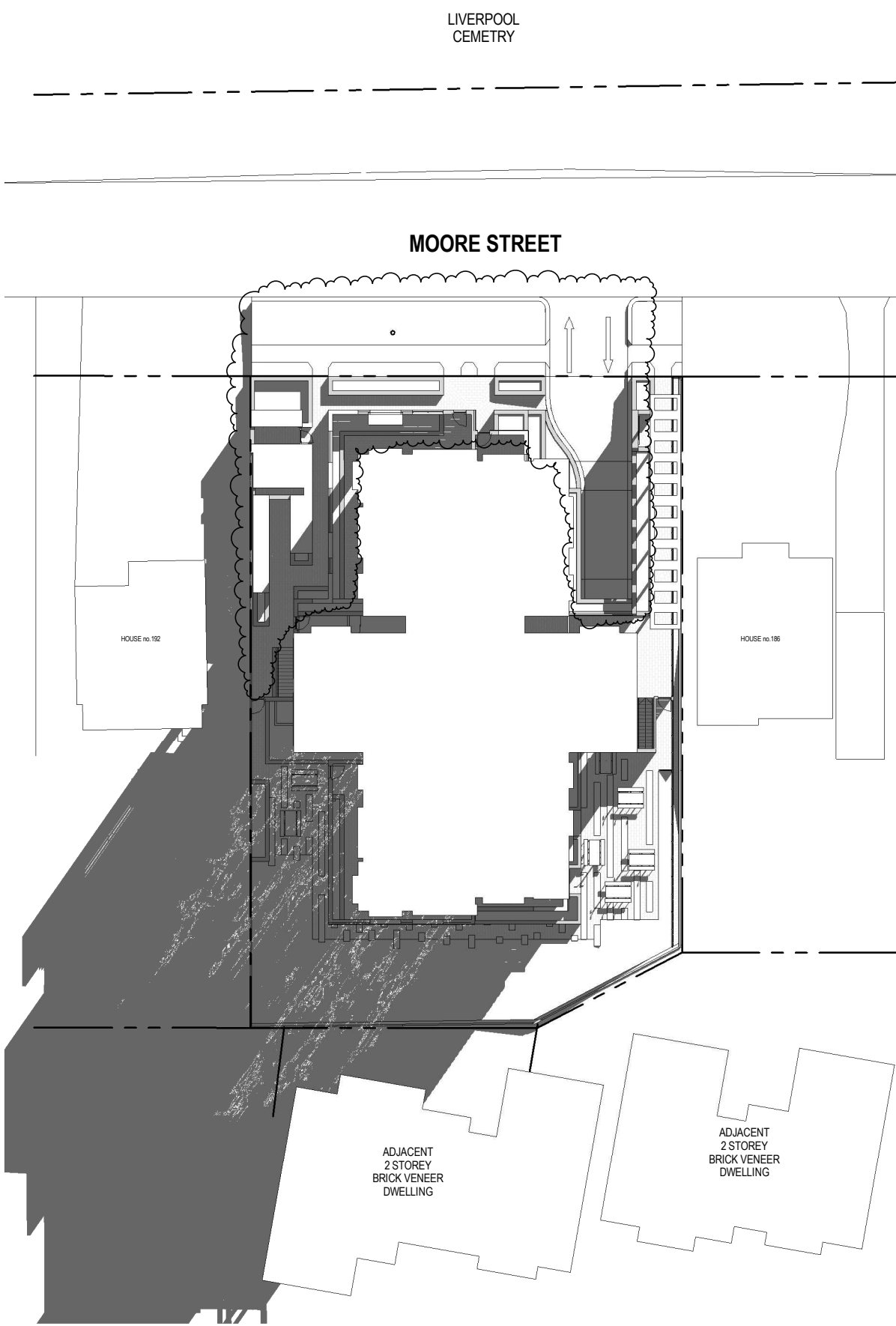
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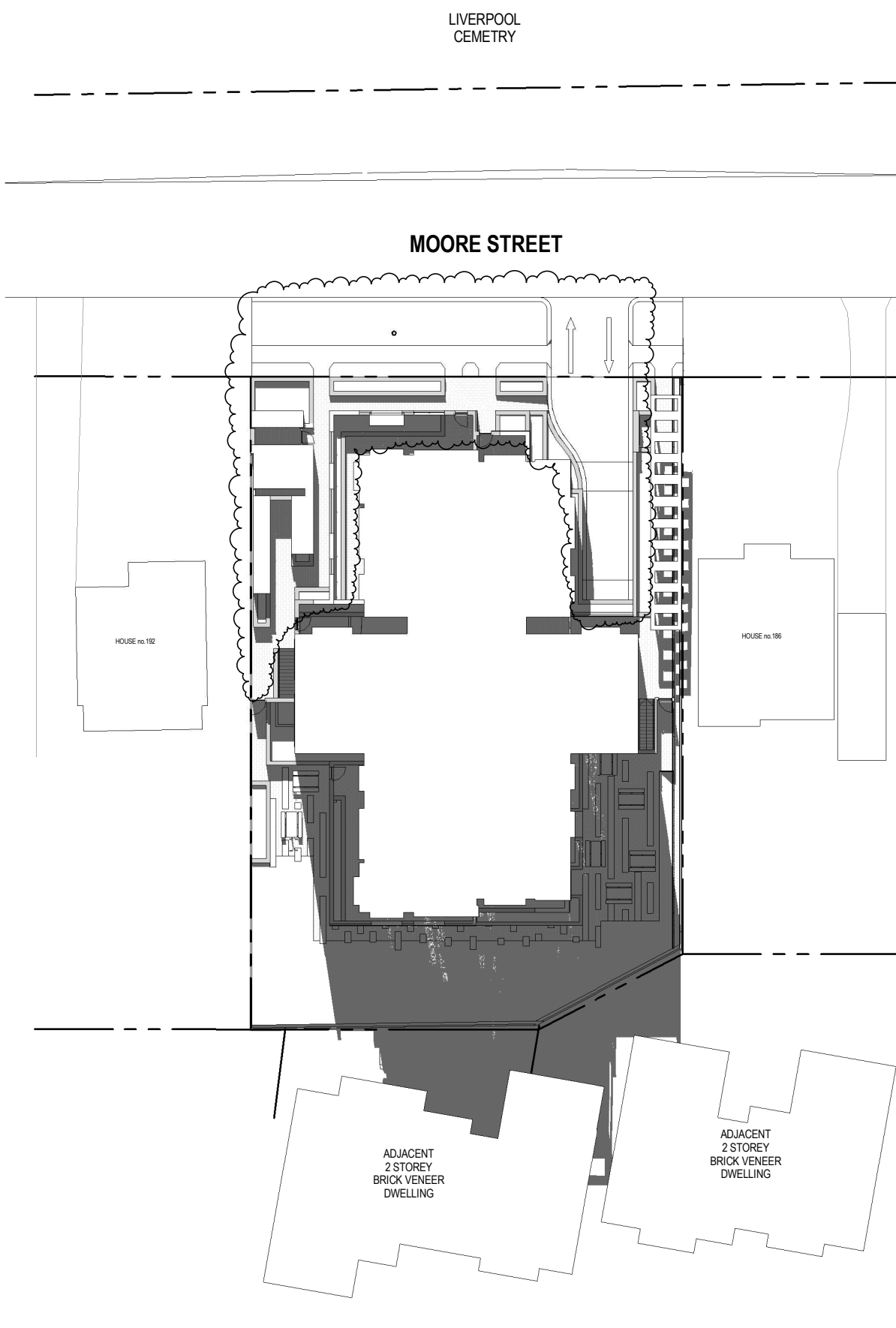
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Client		Architect		Notes		Consultants		Project		Drawing		PRELIMINARY							
 <b>Family &amp; Community Services</b> Land & Housing Corporation South East Region		 dwpjsuters www.dwpjsuters.com		<p>The information contained in this document is copyright and may not be used or reproduced for any other project or purpose.</p> <p>Verify all dimensions and levels on site and report any discrepancies to designers for direction prior to the commencement of work.</p> <p>Drawings are to be read in conjunction with all other contract documents.</p> <p>Use figured dimensions only. Do not scale from drawings. Designers cannot guarantee the accuracy of content and format for copies of drawings used electronically.</p> <p>The completion of the Issue Details Checked and Authorised section is confirmation of the status of the drawing.</p> <p>The drawing shall not be used for construction unless endorsed 'For Construction' and submitted for issue.</p> <p>© dwp Australia Pty Ltd Registered Business Name dwpjsuters ABN 37 169 328 018 Robert Macdonald Nominated Architect NSW ARB 4659</p>		<p>PROJECT MANAGER LAND &amp; HOUSING CORPORATION PH (02) 9533 8020</p> <p>STRUCTURAL &amp; CIVIL ENGINEER LINDSAY DYMAN PH (02) 9451 8800</p> <p>ELECTRICAL ENGINEER ELECTRICAL PROJECTS AUSTRALIA PTY PH (02) 9651 0580</p> <p>HYDRAULIC &amp; FIRE ENGINEER McCALLUM PFCA PH (02) 4946 2623</p> <p>BASIC CONSULTANT SOLAR SMART PH (02) 4921 9547</p> <p>BCA CONSULTANT NEWCERT PH (02) 9444 2205</p> <p>LANDSCAPE OCTOPUS GARDEN PH (02) 9651 0580</p> <p>SURVEY BURTON &amp; FIELD PTY. LTD. PH (02) 9419 8222</p>		Project LIVERPOOL GHR - BGGMV		Location 188-190 MOORE STREET LIVERPOOL NSW		NOT FOR USE DURING CONSTRUCTION		Date Printed 29/06/2016 5:16:43 PM		Scale 1:100 @ A1		Project No BGGMV	
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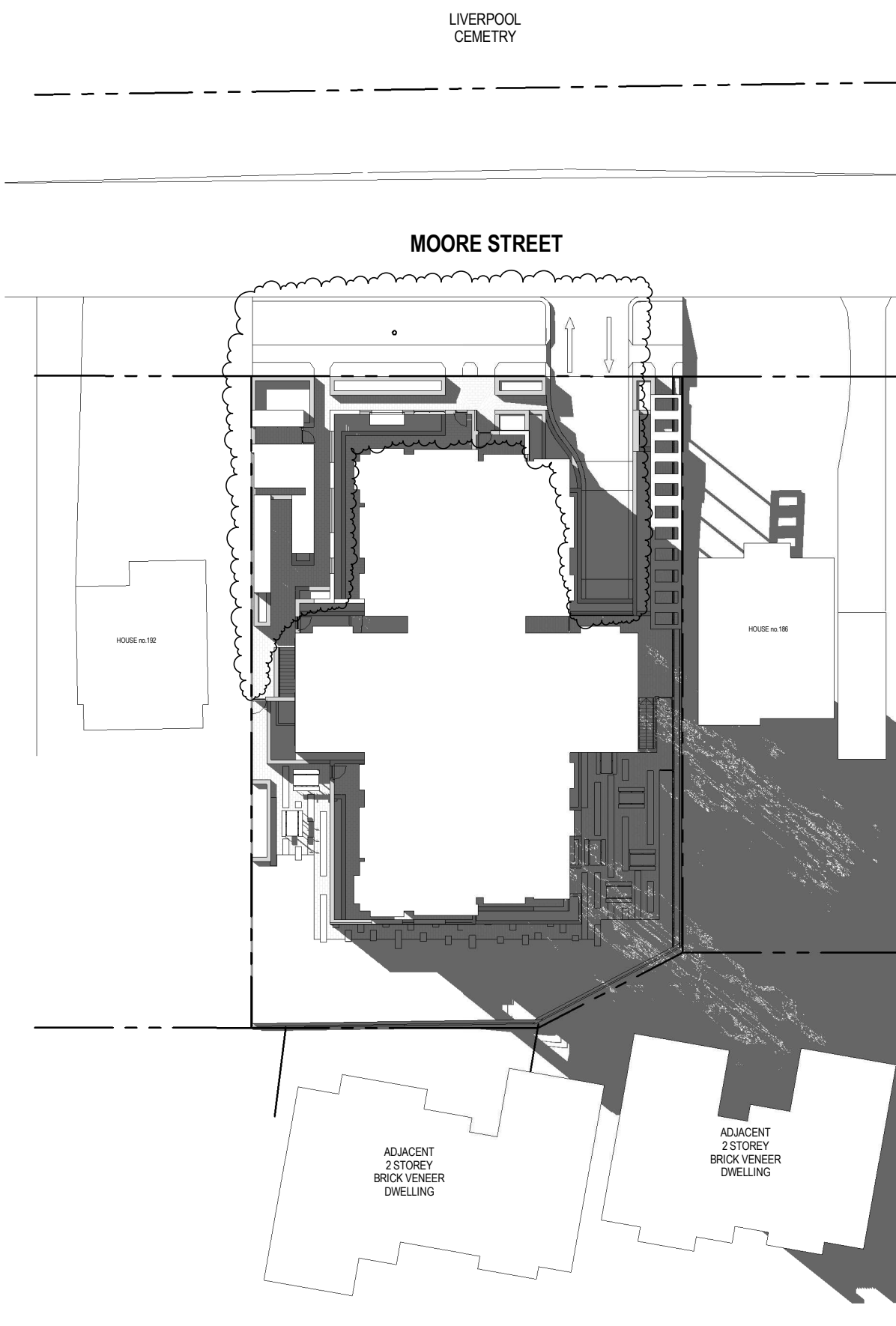




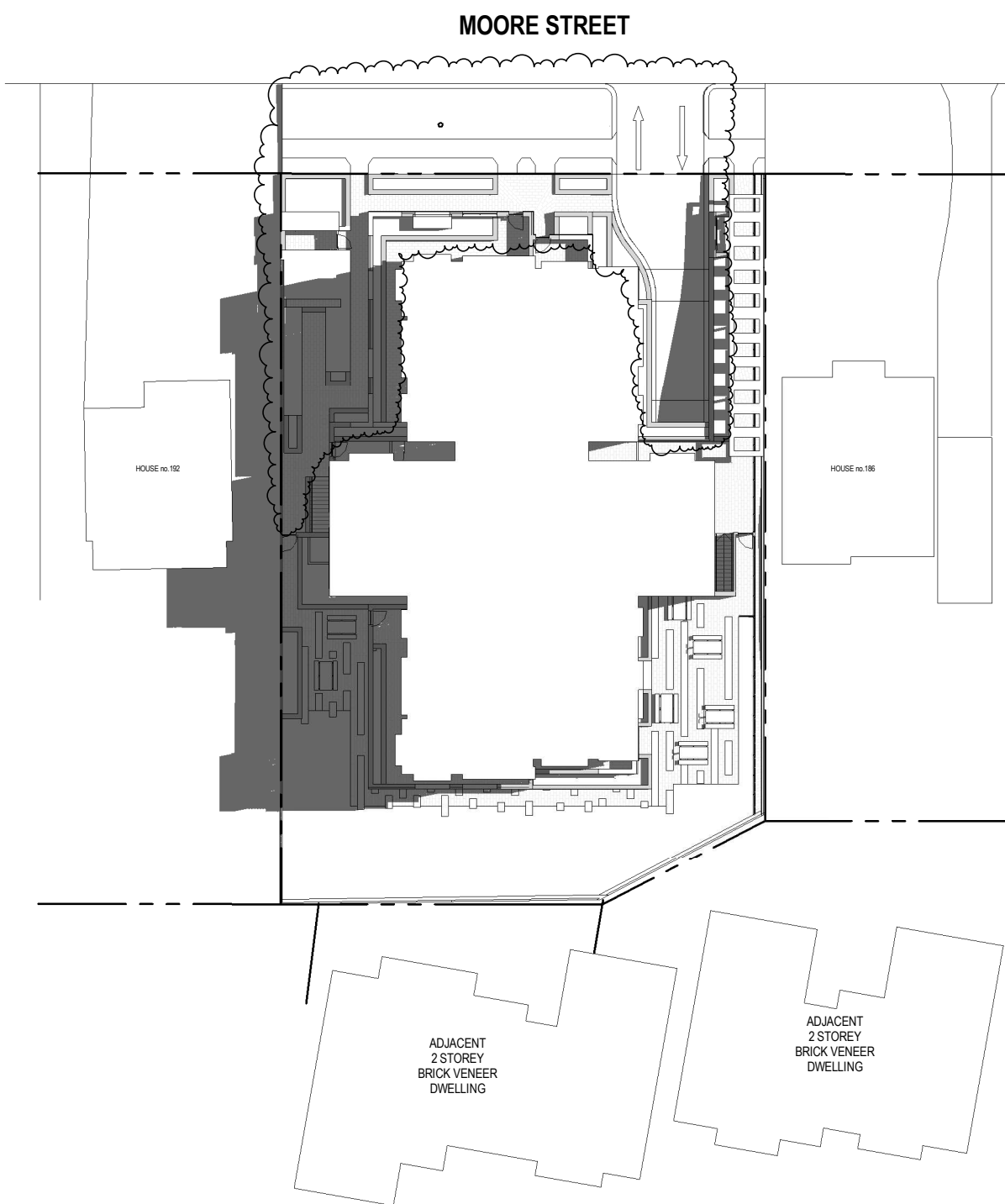
1 920\_SHADOW DIAGRAM\_WINTER SOLSTICE\_9AM  
A401 1: 400



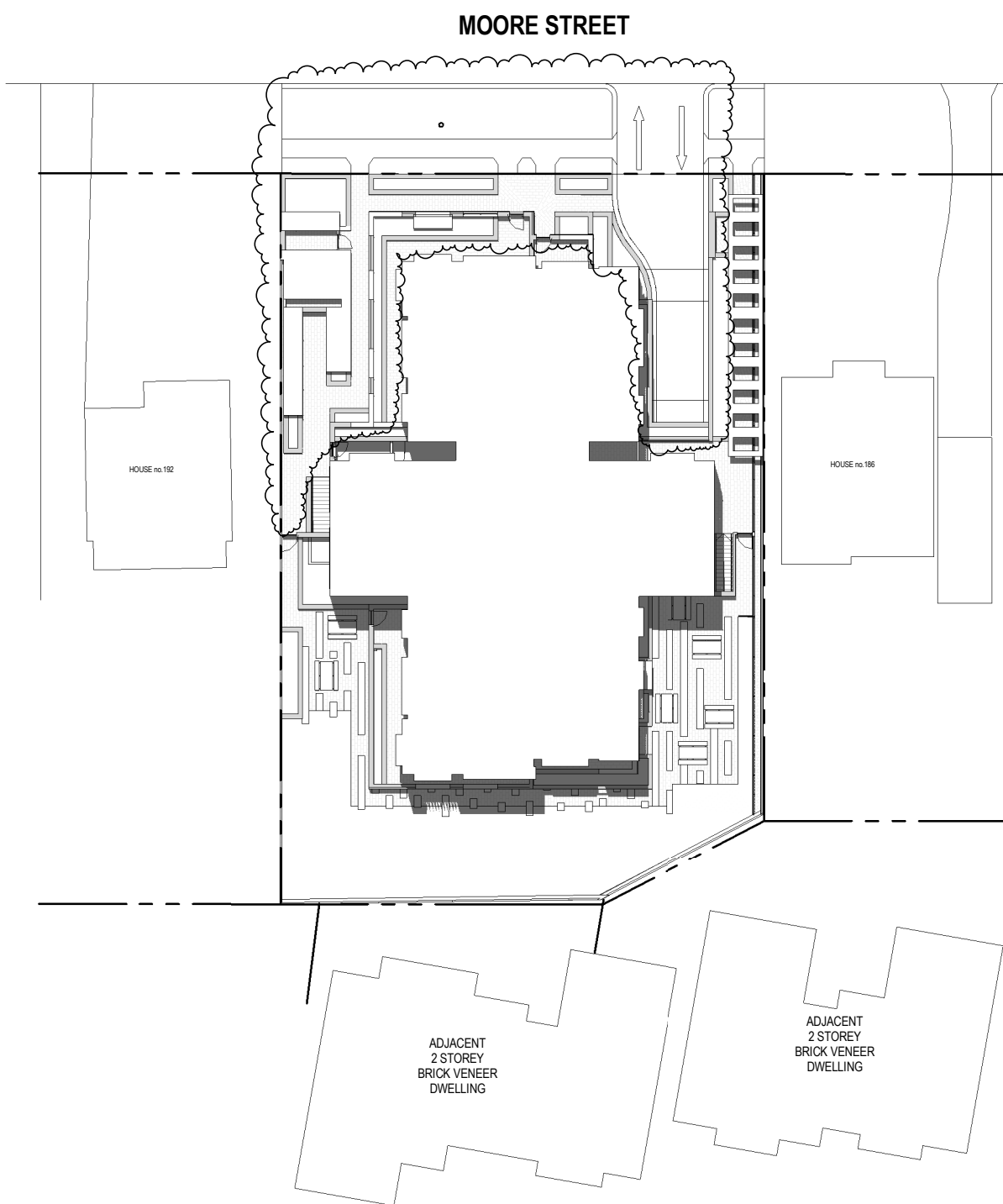
2 920\_SHADOW DIAGRAM\_WINTER SOLSTICE\_12PM  
A401 1: 400



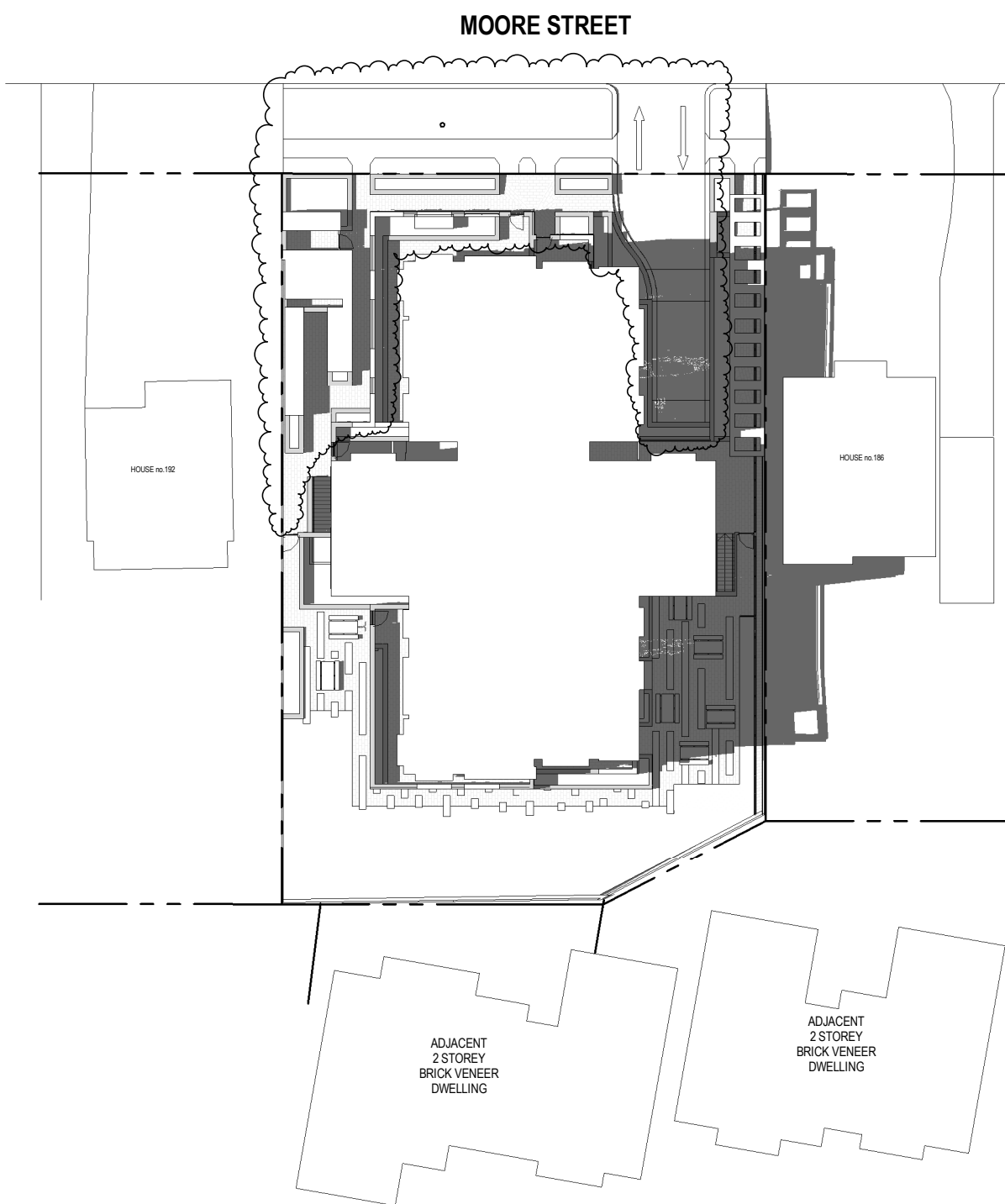
3 920\_SHADOW DIAGRAM\_WINTER SOLSTICE\_3PM  
A401 1: 400



4 920\_SHADOW DIAGRAM\_SUMMER SOLSTICE\_9AM  
A401 1: 400



5 920\_SHADOW DIAGRAM\_SUMMER SOLSTICE\_12PM  
A401 1: 400



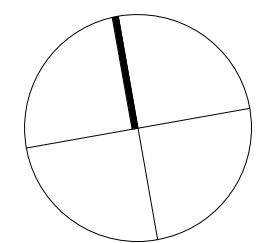
6 920\_SHADOW DIAGRAM\_SUMMER SOLSTICE\_3PM  
A401 1: 400

SOLAR ACCESS - LIVING ROOM										
	9-10AM	10-11AM	11-12PM	12-1PM	1-2PM	2-3PM	NO. HRS DIRECT SUNLIGHT	COMPLIES Y/N	COMPLIANT PERCENTAGE	
G-UNIT 1	1	1	1	1	1	0	5	Y	74%	
G-UNIT 2	1	1	1	1	1	1	6	Y		
G-UNIT 3	0	0	1	1	1	0	3	Y		
G-UNIT 4	0	0	0	0	0	0	0	N		
G-UNIT 5	0	0	0	0	0	0	0	N		
L-UNIT 1	1	1	1	1	1	1	6	Y	74%	
L-UNIT 2	1	1	1	1	1	1	6	Y		
L-UNIT 3	1	1	1	1	1	0.5	5.5	Y		
L-UNIT 4	0	0	0	0	0	0	0	N		
L-UNIT 5	0	0	0	0	0	0	0	N		
L-UNIT 6	1	1	1	0	0	0	3	Y	74%	
L-UNIT 7	1	1	1	1	1	1	6	Y		
L-UNIT 8	1	1	1	1	1	1	6	Y		
L-UNIT 9	1	1	1	1	1	0.5	4	Y		
L-UNIT 10	0	0	0	0	0	0	0	N		
L-UNIT 11	1	1	1	0.5	0	0	3.5	Y	74%	
L-UNIT 12	1	1	1	1	1	1	6	Y		
L-UNIT 13	1	1	1	1	1	1	6	Y		
L-UNIT 14	1	1	1	1	1	0.5	5.5	Y		
L-UNIT 15	1	1	1	1	1	1	6	Y		
L-UNIT 16	1	1	1	1	1	1	6	Y	74%	
L-UNIT 17	1	1	1	1	1	1	6	Y		
L-UNIT 18	1	1	1	1	1	1	6	Y		
L-UNIT 19	1	1	1	1	1	1	6	Y		
L-UNIT 20	1	1	1	1	1	1	6	Y		

SOLAR ACCESS - PRIVATE OPEN SPACE										
	9-10AM	10-11AM	11-12PM	12-1PM	1-2PM	2-3PM	NO. HRS DIRECT SUNLIGHT	COMPLIES Y/N	COMPLIANT PERCENTAGE	
G-UNIT 1	1	1	1	1	1	0	5	Y	82%	
G-UNIT 2	1	1	1	1	1	1	6	Y		
G-UNIT 3	0	0.5	1	1	1	0.5	4	Y		
G-UNIT 4	0	0	0	0	1	1	2	Y		
G-UNIT 5	0	0	0	0	0	0	0	N		
L-UNIT 1	1	1	1	1	1	1	6	Y	82%	
L-UNIT 2	1	1	1	1	1	1	6	Y		
L-UNIT 3	1	1	1	1	1	1	6	Y		
L-UNIT 4	0	0	0	0.5	1	1.5	N	N		
L-UNIT 5	0	0	0	0	0	0	0	N		
L-UNIT 6	1	1	1	0	0	0	3	Y	82%	
L-UNIT 7	1	1	1	1	1	1	6	Y		
L-UNIT 8	1	1	1	1	1	1	6	Y		
L-UNIT 9	0.5	1	1	1	1	1	4.5	Y		
L-UNIT 10	0	0	0	1	1	1	2	Y		
L-UNIT 11	0	0	0	0	0	0	0	N	82%	
L-UNIT 12	1	1	1	0.5	0	0	3.5	Y		
L-UNIT 13	1	1	1	1	1	1	6	Y		
L-UNIT 14	1	1	1	1	1	1	6	Y		
L-UNIT 15	1	1	1	1	1	1	6	Y		
L-UNIT 16	1	1	1	1	1	1	6	Y	82%	
L-UNIT 17	1	1	1	1	1	1	6	Y		
L-UNIT 18	1	1	1	1	1	1	6	Y		
L-UNIT 19	1	1	1	1	1	1	6	Y		
L-UNIT 20	1	1	1	1	1	1	6	Y		

SOLAR ACCESS REQUIREMENT AS PER SEPP 65:  
Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9am and 3pm at mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas.

7 SOLAR ACCESS TABLE  
1: 1



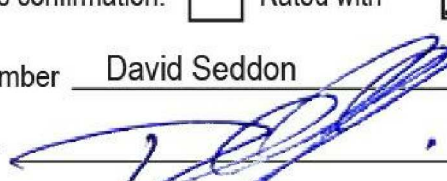
**Energy Rating** Certificate Number**14431205**

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)  
If selected, data specified is the average across the entire development

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number **David Seddon** VIC/BD/AV/12/1443

Assessor Signature  Date **05 Feb 15**





EXTERNAL

- WBR 01 01 FACE BRICK 1 AND BRICK FENCE  
AUSTRAL BRICKS  
SYMMETRY "EARTH"
- WBR 02 02 FACE BRICK 2  
AUSTRAL BRICKS  
EVERYDAY LIFE "ENGAGE"
- ETB 01 03 WALL BATTENING / DECK  
PRIVACY SCREENS  
PALE GRAIN - BIRCH OR  
EQUIVALENT ENGINEERED TIMBER
- WMT 01 04 ROOF SHEETING / WALL  
CLADDING / BARGE CAPPING /  
FASCIA / GUTTER / DOWNPIPES  
COLORBOND "BASALT"
- WFC 01 05 FIBRE CEMENT SHEETING,  
FLUSH SET PAINTED FINISH  
DULUX 'LEXECON HALF'
- PT 01 06 EXTERNAL DOOR PAINT FINISH  
DULUX "AZURE GREY"
- PT 02 07 DOOR AND WINDOW FRAMES  
DULUX X15  
POWDERCOAT 'ZEUS BLACK'
- PT 03 08 FLAT BAR HANDRAILS  
PAINT SYSTEM -MICACEOUS OXIDE  
NATURAL GREY
- ALBP 01 09 WINDOW HOODS  
ALUCABOND PANEL  
BLACK
- CF 01 10 COLORBOND FENCING  
COLORBOND "SHALE GREY"
- CON 01 11A DRIVEWAYS  
HYMIX OR APPROVED EQUIVALENT  
COLOUR: 'STEEL'
- CON 02 11B PATHS AND HARDSTANDS  
HYMIX OR APPROVED EQUIVALENT  
COLOUR: 'GALAXY'



Family &  
Community Services  
Land & Housing Corporation  
South East Region  
WWW.FACS.NSW.GOV.AU

Client

202946 LIVERPOOL GHR - BGGMV  
EXTERNAL & INTERNAL  
MATERIALS & FINISHES

ISSUE F - RE-ISSUE FOR DA APPROVAL  
DRAWN: JR  
AUTHORISED: CB  
DATE: 29.06.16

Drawing Number

A920

dwpsuters

dwpsuters  
www.dwpsuters.com

Architect



Plants to be healthy & vigorous

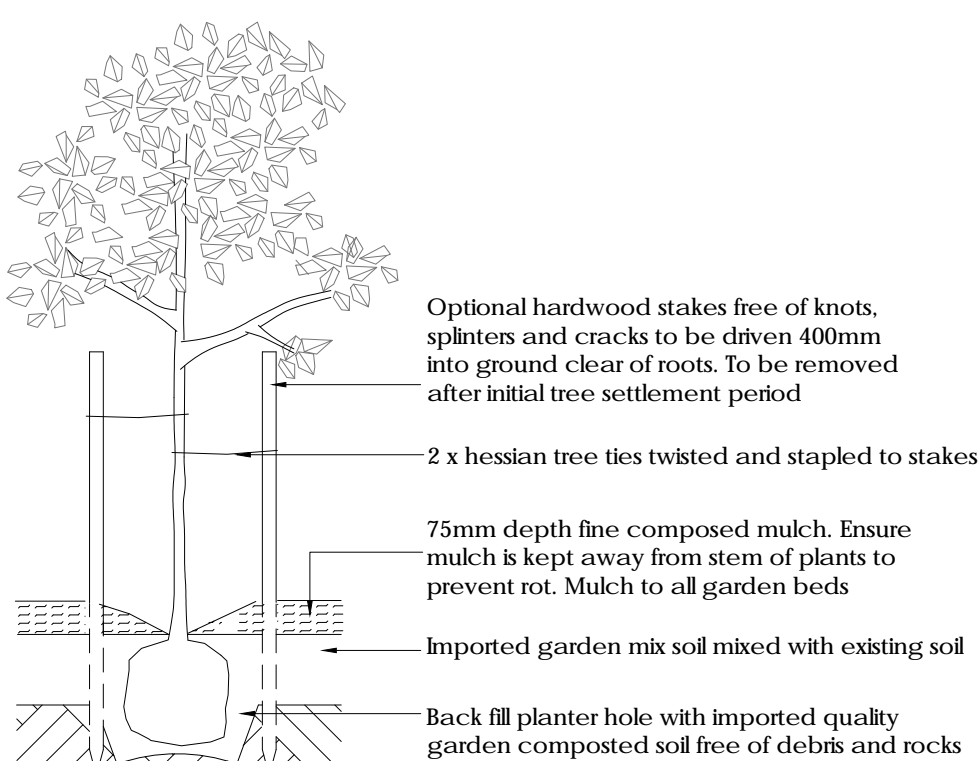
75mm depth fine composed mulch. Ensure mulch is kept away from the stem of plants to prevent rot. Mulch to all garden beds

Provide approved imported topsoil

Apply approved fertiliser to manufacturers specifications

Prepared sub base

## NT



## NT

## EXCAVATION

All garden areas are to be stripped of unwanted plants, existing grass and organic debris. Excavate all paved areas to a depth of 150mm below finished level where necessary.

## SOIL PREPARATION

All garden areas are to be cultivated and aerated prior to application of top soils.

TOP SOIL

Import organic garden soil blend to all garden beds. Ensure min. 300mm layer soil is imported to all planted areas and blended with existing soil.

## MULCH

A 50 - 75mm layer fine composted pine mulch shall be spread evenly over all garden areas after planting.

## FERTILISING

Addition of a suitable organic fertiliser to be applied to all plants as per manufacturers' specifications at time of planting.

## PLANT MATERIAL.

To be vigorous, well established of good form and not root bound.

## PLANTING

Before planting, thoroughly water plants and planting areas. Water again immediately after planting.

## DRAINAGE

All paved surfaces to fall away from buildings towards drains or garden beds.

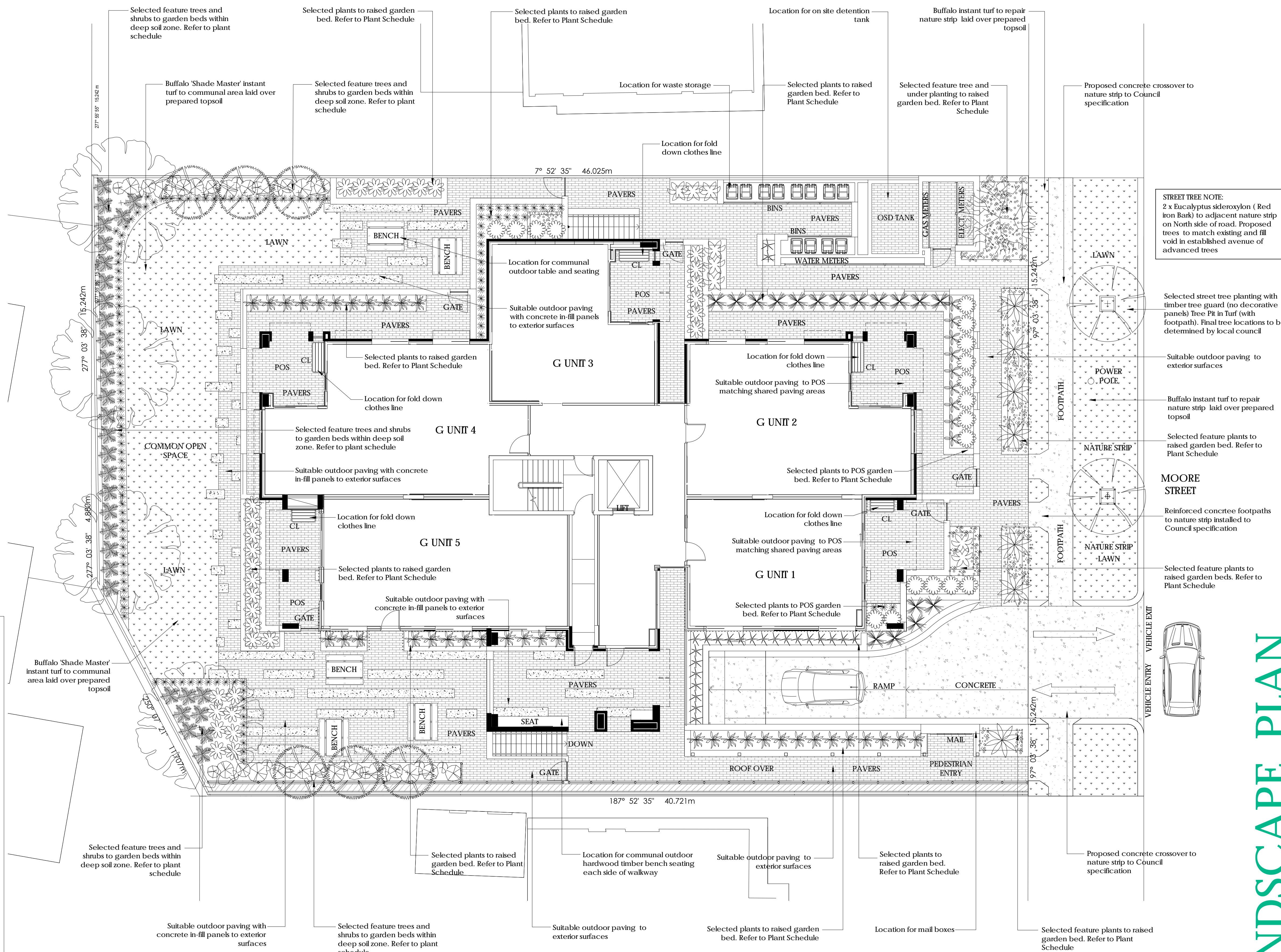
## LAWN AREAS

Lawn areas to nature strip to have suitable Buffalo 'Sir Walter' instant turf laid over prepared sub soil to repair any damaged areas.

## MAINTENANCE

All garden areas are to be regularly monitored and weed species removed, top up organic mulch & monitor watering and plant health.

Lawn areas are to be regularly mowed and trimmed to edges to prevent invading to garden areas.

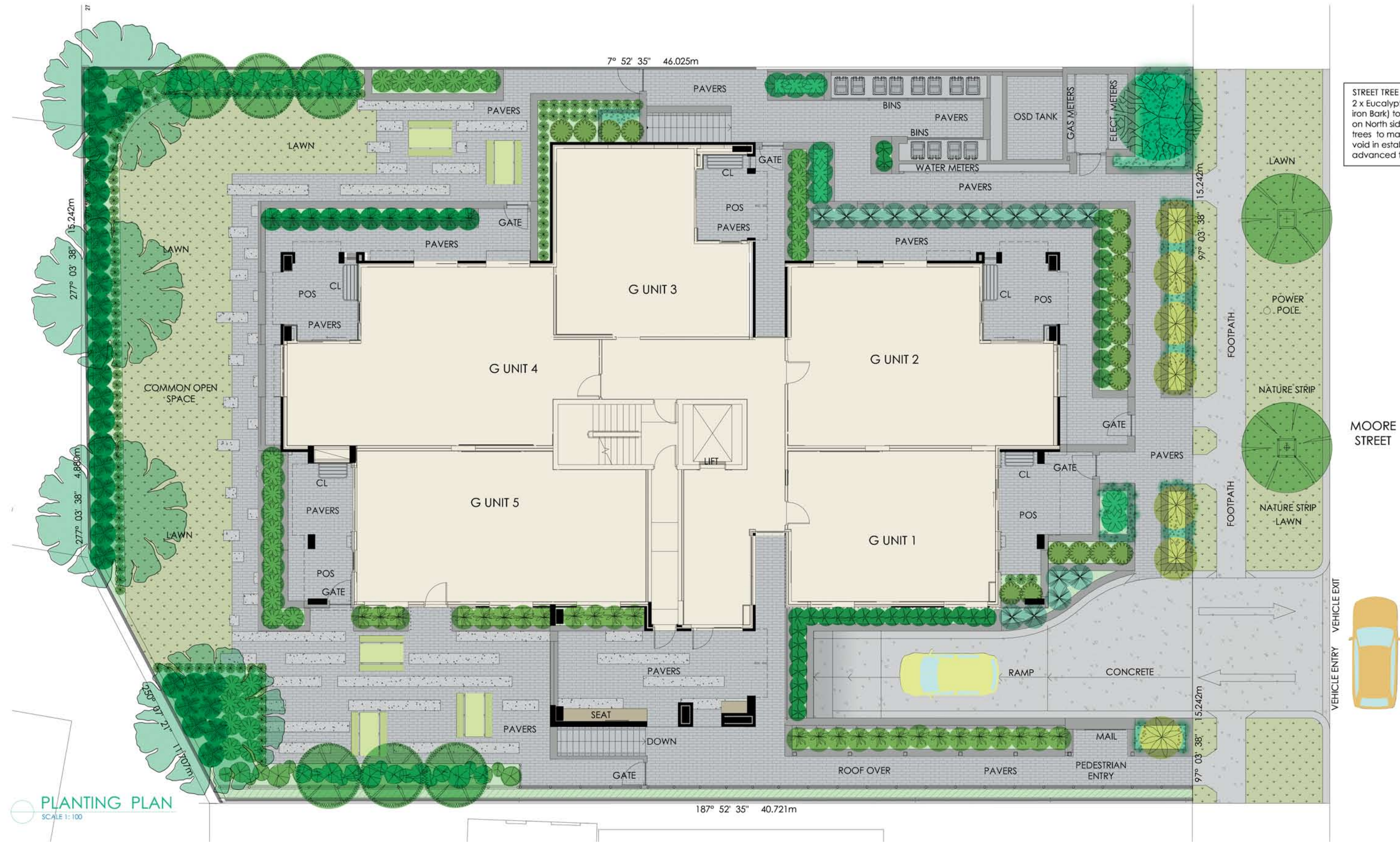


# LANDSCAPE PLAN

## ISSUE FOR DA

<p><b>Family &amp; Community Services</b></p> <p><b>Land &amp; Housing Corporation</b></p> <p style="text-align: right;">South East Region</p>	LOCKED BAG 4009 ASHFIELD NSW BC1800 PHONE No (02) 8753 9000  <a href="#">www.facs.nsw.gov.au</a>	NOMINATED ARCHITECT:		PROJECT MANAGER & ARCHITECT:		HYDRAULIC CONSULTANT:		  <b>OCTOPUS GARDEN DESIGN</b> Studio 2, 12 King St. WARNERS BAY NSW PO Box 3312, VALENTINE NSW 2280 info@octopusgardendesign.com	PROJECT:		TITLE:	<b>LANDSCAPE PLAN DA-LA01</b>			STATUS:	<b>ISSUE FOR DA</b>		
		DATE:	JUNE 2016	SCALE:	1 : 100 @ A1		PROJECT NO.		BGGMY									
		STAGE:	DA	DRAWN:	DM	CHECKED:	GE											
		FILE:	L	SHEET:	1 OF 2		REV:		E									





STREET TREE NOTE:  
2 x Eucalyptus sideroxylon ( Red Iron Bark) to adjacent nature strip on North side of road. Proposed trees to match existing and fill void in established avenue of advanced trees

STREET TREES



Red Bottle Brush      Red Iron Bark



Magnolia 'Little Gem' Tree      Blueberry Ash Tree      Frangipani Tree



Agave      Blue Jade      Silver Falls



Wedding Lilly      Liriope      Maiden Grass



Dwarf Nandina      Xanadu      Dwarf Pittosporum



Indian Hawthorn      Snake Plant      Cardboard Cycad

PLANT SYMBOL LEGEND

TREES	PLANTS			

PLANT SCHEDULE

Tree Species	Common Name	Quantity	Pot Size	Install Height	Install Width	Final Height	Final Width
Callistemon citrinus (Street Tree)	Red Bottle Brush	4	45 Lt	120cm	80cm	500cm	300cm
Elaeocarpus reticulatus	Blueberry Ash Tree	4	45 Lt	150cm	90cm	6m	4m
Eucalyptus sideroxylon (Street Tree)	Red Iron Bark	2	45 Lt	150cm	80cm	10m	6m
Magnolia 'Little Gem'	Dwarf Evergreen Magnolia	6	30cm	90cm	50cm	350cm	200cm
Plumeria 'rubra'	Red Frangipani	1	45 Lt	100cm	80cm	400cm	400cm
Plant Species							
Agave attenuata	Agave	8	20cm	30cm	30cm	90cm	90cm
Crassula ovata 'Blue Bird'	Blue Jade	17	20cm	30cm	20cm	80cm	80cm
Dichondra 'Silver Falls'	Silver Dichondra	30	15cm	10cm	20cm	25cm	150cm
Diets robinsonia	Wedding Lilly	46	15cm	30cm	20cm	80cm	60cm
Liriope muscari	Liriope	80	15cm	25cm	10cm	35cm	30cm
Miscanthus sinensis 'Hiawatha'	Maiden Grass	33	20cm	40cm	40cm	150cm	80cm
Nandina domestica 'Golf Stream'	Dwarf Nandina	17	15cm	20cm	20cm	50cm	50cm
Philodendron 'Xanadu'	Xanadu	8	15cm	25cm	10cm	120cm	120cm
Pittosporum 'Miss Muffet'	Dwarf Pittosporum	31	20cm	20cm	20cm	80cm	80cm
Rhaphiolepis indica 'Snow Maiden'	White Indian Hawthorn	30	20cm	30cm	30cm	80cm	80cm
Sansevieria sp.	Snake Plant	34	20cm	30cm	20cm	80cm	50cm
Zamia furfuracea	Cardboard Cycad	6	30cm	30cm	30cm	90cm	120cm